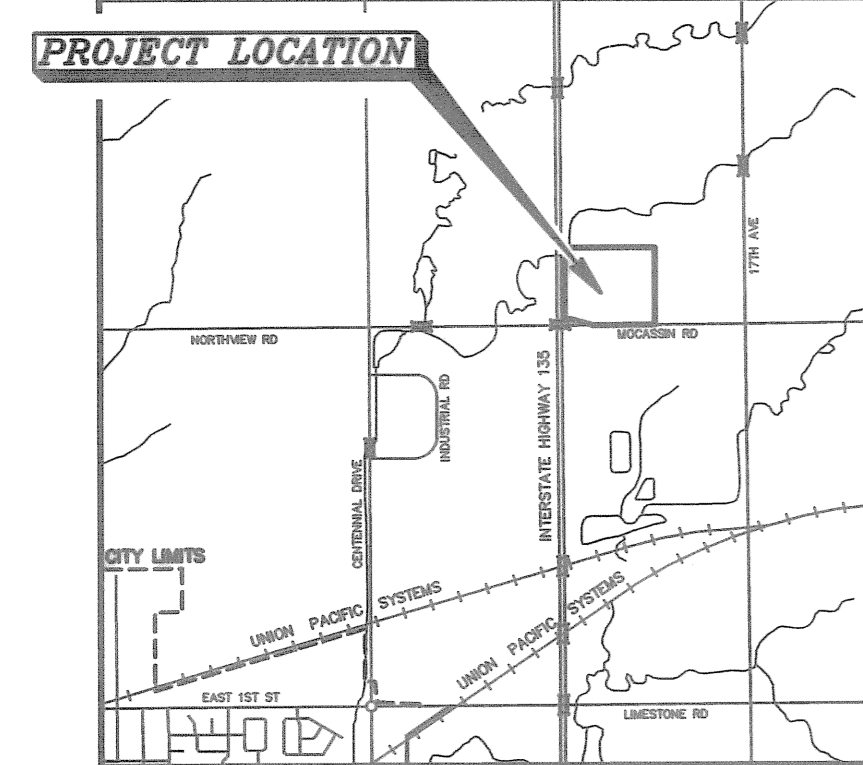


FINAL PLAT

PRAIRIELAND PARTNERS SUBDIVISION

A PORTION OF THE SOUTHEAST QUARTER OF SECTION 14, TOWNSHIP 19 SOUTH, RANGE 3 WEST OF THE 6TH PRINCIPAL MERIDIAN, McPHERSON COUNTY, KANSAS.



CLOSURE TABLE

NORTHING	-0.00115
EASTING	-0.00377
PRECISION	5004.33/0.0081 = 1:820,391.97

FLOOD NOTE:
 According to Flood Insurance Rate Map No. 20113C0240E (Map Revised January 16, 2009) published by the Federal Emergency Management Agency, Drainage Reserve Area A is located in Flood Zone "A" which is described as "Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood." Area designated as Drainage Reserve Area "A" is located within Flood Zone "A". No development shall be allowed to occur within the floodplain easement until floodway and BFEs have been created for this area.

BENCHMARKS:

CP-1: T-Post set flush with ground within the proximity of existing gas structures. Located approximately 1102 feet East and 79 feet North of the Southwest Corner of the Southeast Quarter of Section 14, Township 19 South, Range 3 West.
 Northing=1941597.6539
 Easting=1565426.7258
 Elevation=1523.73 (NAVD88)

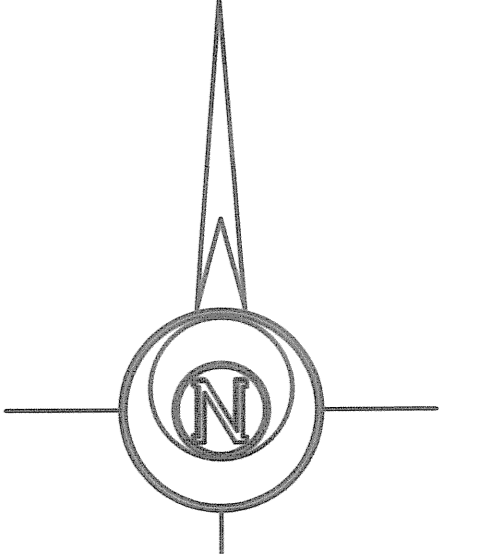
- LEGEND**
- △ - Sectional Monument Found
 - - 5/8" x 24" Rebar Set in Concrete
 - - 5/8" x 24" Iron Rebar Set w/G.S.S. Cap
 - (C) - Calculated
 - (M) - Measured
 - (PS) - Previous Survey (Lochner 5-21-2012)
 - (R) - Record measurement
 - P.O.B. - Point of Beginning
 - P.O.C. - Point of Commencement
 - BLM - Site Benchmark
 - TM - Total Access Control

LAND SURVEYOR'S CERTIFICATE AND DESCRIPTION

I, the undersigned licensed land surveyor of the State of Kansas, do hereby certify that the following described tract of land was surveyed on September 5, 2014 and the accompanying final plat prepared and that all monuments shown herein actually exist and their positions are correctly shown to the best of my knowledge and belief.

A portion of the Southeast Quarter of Section 14, Township 19 South, Range 3 West of the 6th Principal Meridian, McPherson County, Kansas described as follows:

Commencing at the Southeast corner of the Southeast Quarter of Section 14, Township 19 South, Range 3 West of the 6th Principal Meridian; thence on a NAD 83 Kansas Zone 1502 bearing of South 89°09'43" West along the South line of said Southeast Quarter 919.73 feet to the POINT OF BEGINNING; thence continuing South 89°09'43" West along said South line 750.08 feet to the Easterly Right of Way of Interstate Highway 135 as described in Book 168, Page 405 recorded at the McPherson County Register of Deeds Office; thence North 00°50'17" West along said Right of Way 24.80 feet (Record); thence North 71°25'17" West along said Right of Way 106.00 feet (Record); thence North 84°41'17" West along said Right of Way 653.50 feet (Record); thence North 00°44'35" West along said Right of Way 919.95 feet; thence North 89°09'43" East parallel with said South line of the Southeast Quarter 1500.00 feet; thence South 00°44'35" East 1050.00 feet to the POINT OF BEGINNING, containing **34.642 Acres**, subject to a road right of way easement across the South 50.00 feet thereof and any other easements or restrictions of record.



Scale: 1"=100'
 BASIS OF BEARING = NAD 83 KANSAS ZONE 1502

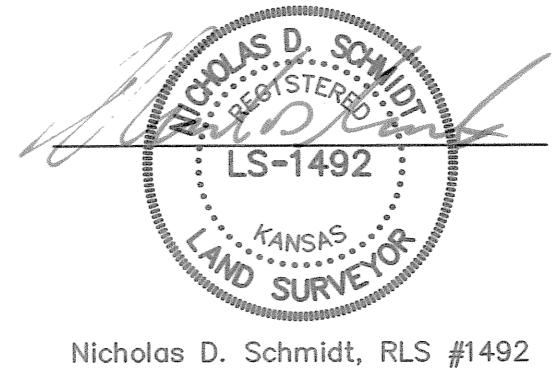
PLANNING BOARD CERTIFICATE

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }
 This plat was approved by the McPherson County Planning Commission on November 21, 2014.
 Signed: November 21, 2014
 Bob Carson, Chairperson
 ATTEST: John Versaw
 John Versaw, Secretary

GOVERNING BODY CERTIFICATE

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }
 The dedications shown on this plat, if any, are hereby accepted by the Board of County Commissioners of McPherson County, Kansas on November 21, 2014.
 (Recused)
 Ronald Loomis, Chairperson
 Duane J. Patrick, Commissioner
 Linus Linowadver, Commissioner

Date NOVEMBER 21, 2014.



COUNTY SURVEYOR'S CERTIFICATE

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }
 Reviewed by the Unified Government Surveyor this 21st day of November, 2014. This survey has been reviewed for filing, pursuant to K.S.A. 58-2005 and K.S.A. 58-2011 for content only and is in compliance with those provisions. No other warranties are extended or implied.
William B. Heller
 William B. Heller, RLS #1202, County Surveyor

OWNER'S CERTIFICATE AND DEDICATION

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }
 This is to certify that the undersigned owner(s) of the land described in the Land Surveyor's Certificate, have caused the same to be surveyed and subdivided on the accompanying plat into lots, blocks, streets and other public areas under the name of **PRAIRIELAND PARTNERS SUBDIVISION**; that all roads, alleys, easements and public grounds as denoted on the plat are hereby dedicated to and for the use of the public, or to those denoted hereon, for the purpose of constructing, operating, maintaining and repairing public improvements; and further that the land contained herein is held and shall be conveyed subject to any applicable restrictions, reservations and covenants now on file or hereafter filed in the Office of the Register of Deeds of McPherson County, Kansas.
 McPHERSON INDUSTRIAL DEVELOPMENT COMPANY, INC.
 Date Signed: November 21, 2014
Brett Reber
 Brett Reber, President

NOTARY CERTIFICATE

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }
 BE IT REMEMBERED:
 That on this 21st day of Nov, 2014 A.D., before me, the undersigned, a notary public in and for the county and state aforesaid, came Brett Reber, President of McPherson Industrial Development Company, Inc., who is known to me to be the same person who executed the foregoing plat and the within instrument of writing.

IN TESTIMONY WHEREOF:
 I have hereunto set my hand and affixed my Notarial Seal the day and year last mentioned above.
 My Commission Expires: 9-10-15
Mary J. Rausch Notary Public

ATTEST:
Cathy A. Schmidt
 Cathy A. Schmidt, County Clerk

STATE OF KANSAS } SS
 COUNTY OF McPHERSON }

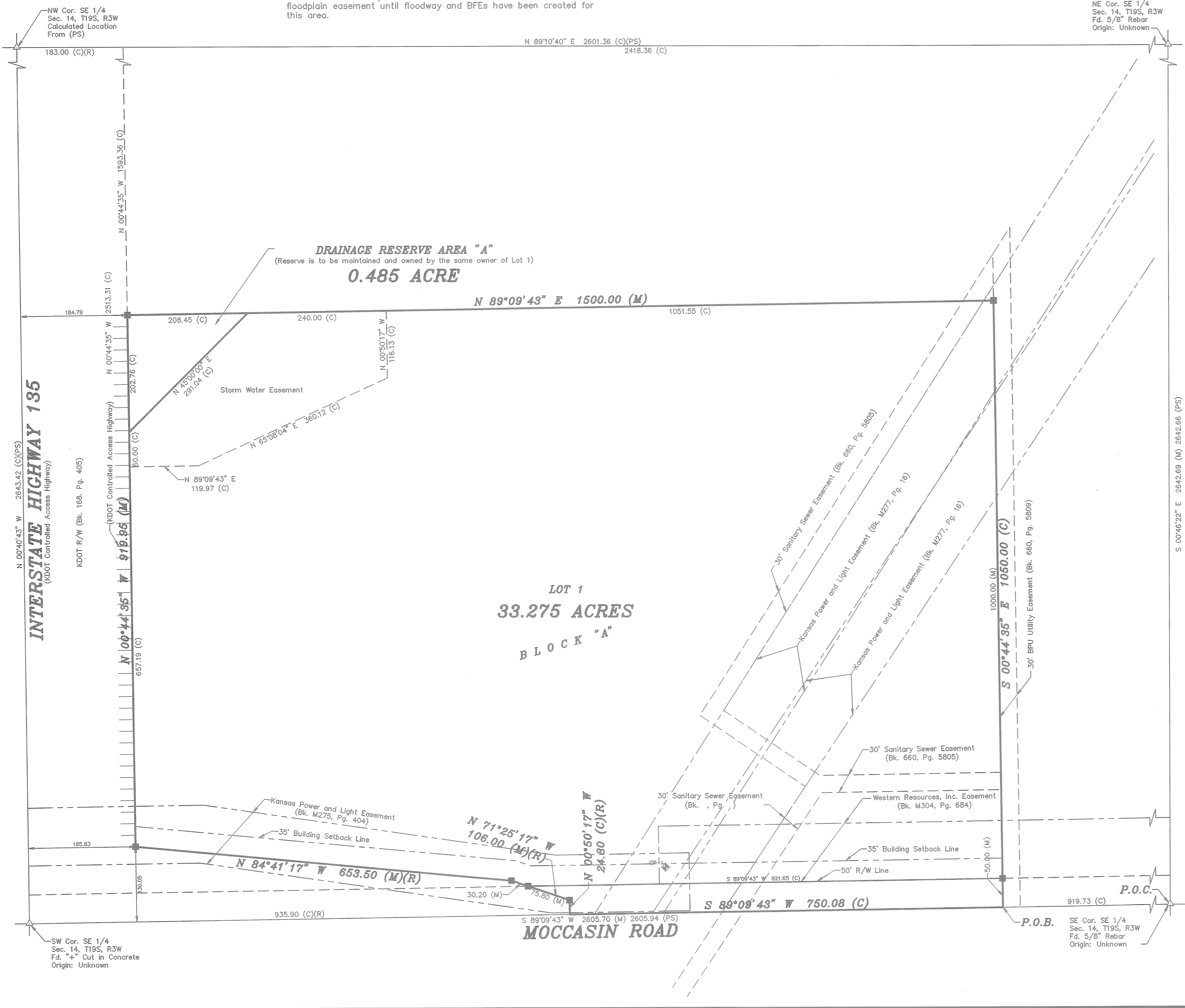
I, the undersigned, County Clerk of McPherson County, Kansas within my respective jurisdictions, do hereby certify that at the date of this certificate, all currently due and owing taxes and special assessments of any kind assessed against any of the land included in this plat, have been paid.
 Date Signed: 11/24/14
Cathy A. Schmidt
 Cathy A. Schmidt, County Clerk

TRANSFER RECORD
 Entered on transfer record this 24 day of November, 2014.

Cathy A. Schmidt
 Cathy A. Schmidt, County Clerk

REGISTER OF DEEDS - McPHERSON COUNTY, KANSAS

State of Kansas, McPherson County, SS: 1766*
 This instrument was filed for record on the 25 day of November, A.D. 2014 at 8:12 o'clock AM, and recorded in book Plat on page C-42.
Stephanne A. Beck
 Register of Deeds
 Deputy



FINAL PLAT
 Description: **PRAIRIELAND PARTNERS SUBDIVISION, McPHERSON COUNTY, KANSAS**

Prepared By: **Garber Surveying Service, P.A.**
 HUTCHINSON (Main Office) 2908 North Plum St. 67502 Ph. 620-665-7032 Fax 620-663-7401
 McPHERSON (Branch Office) 115 East Marlin 67460 Ph. 620-241-4441 Fax 620-241-4458
 NEWTON (Branch Office) 5111 North Poplar St. 67114 Ph. 316-283-5053 Fax 316-283-5073

Drawn By: JAK Scale: 1"=100' Date of Field Work: September 5, 2014 Job No:
 Checked By: NDS Date: 11/21/2014 Sheet 1 of 1 Sheet(s) G2014-593